

A. PURPOSE

The intent of this standard plan is to promote public safety and prevent damage to existing residential buildings. The requirements are based on the minimum prescriptive standards which do not represent the best practice of the industry. The purpose of this standard is to provide prescriptive requirements to meet the minimum prescriptive standards which do not represent the best practice of the industry. The purpose of this standard is to provide prescriptive requirements to meet the minimum prescriptive standards which do not represent the best practice of the industry. The purpose of this standard is to provide prescriptive requirements to meet the minimum prescriptive standards which do not represent the best practice of the industry.

B. SCOPE

This standard applies to one, two and three story residential buildings. It applies to all wood frame buildings. It does not apply to buildings with a total height of less than 10 feet or more than 40 feet. It does not apply to buildings with a total height of less than 10 feet or more than 40 feet. It does not apply to buildings with a total height of less than 10 feet or more than 40 feet. It does not apply to buildings with a total height of less than 10 feet or more than 40 feet.

C. GENERAL REQUIREMENTS

All work shown on these plans requires a building permit. The construction shall be in accordance with the applicable building codes. The construction shall be in accordance with the applicable building codes. The construction shall be in accordance with the applicable building codes. The construction shall be in accordance with the applicable building codes. The construction shall be in accordance with the applicable building codes.

D. DENOTIONS

AGREEMENT ANCHOR: A fastener joined in hardened concrete that anchors a member to a structural member. It is used to anchor a member to a structural member. It is used to anchor a member to a structural member. It is used to anchor a member to a structural member. It is used to anchor a member to a structural member.

E. MATERIALS

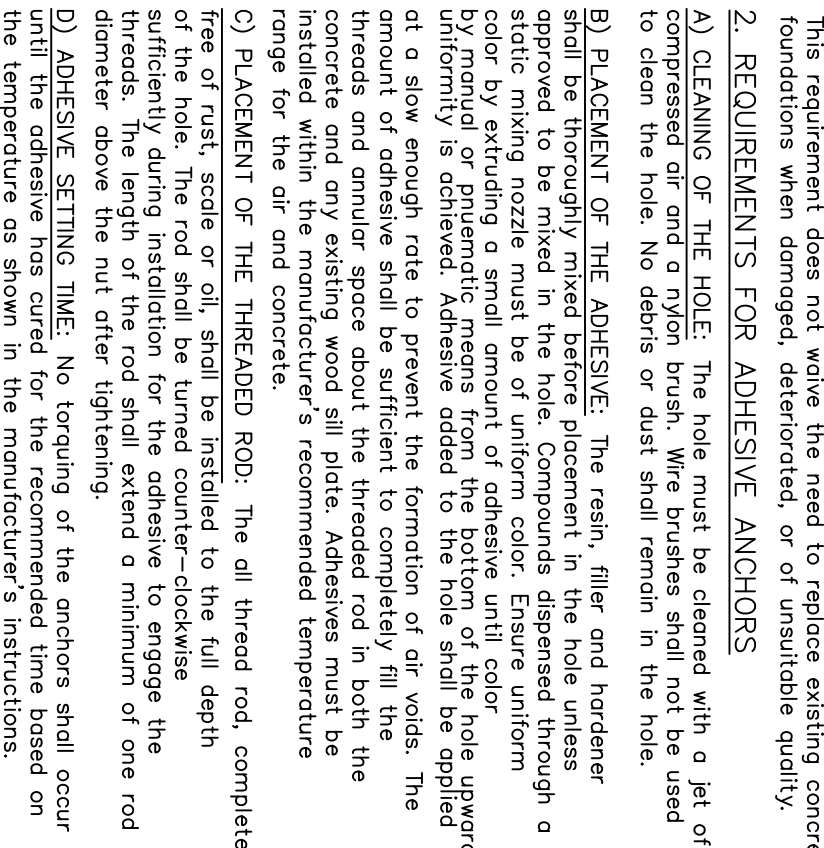
AGREEMENT ANCHORS: All agreement anchors shall use a minimum yield strength of 60,000 psi. They shall be installed in accordance with the manufacturer's requirements. They shall be installed in accordance with the manufacturer's requirements. They shall be installed in accordance with the manufacturer's requirements. They shall be installed in accordance with the manufacturer's requirements.

F. REPLACEMENT OF EXISTING FOOTINGS & STEM WALLS

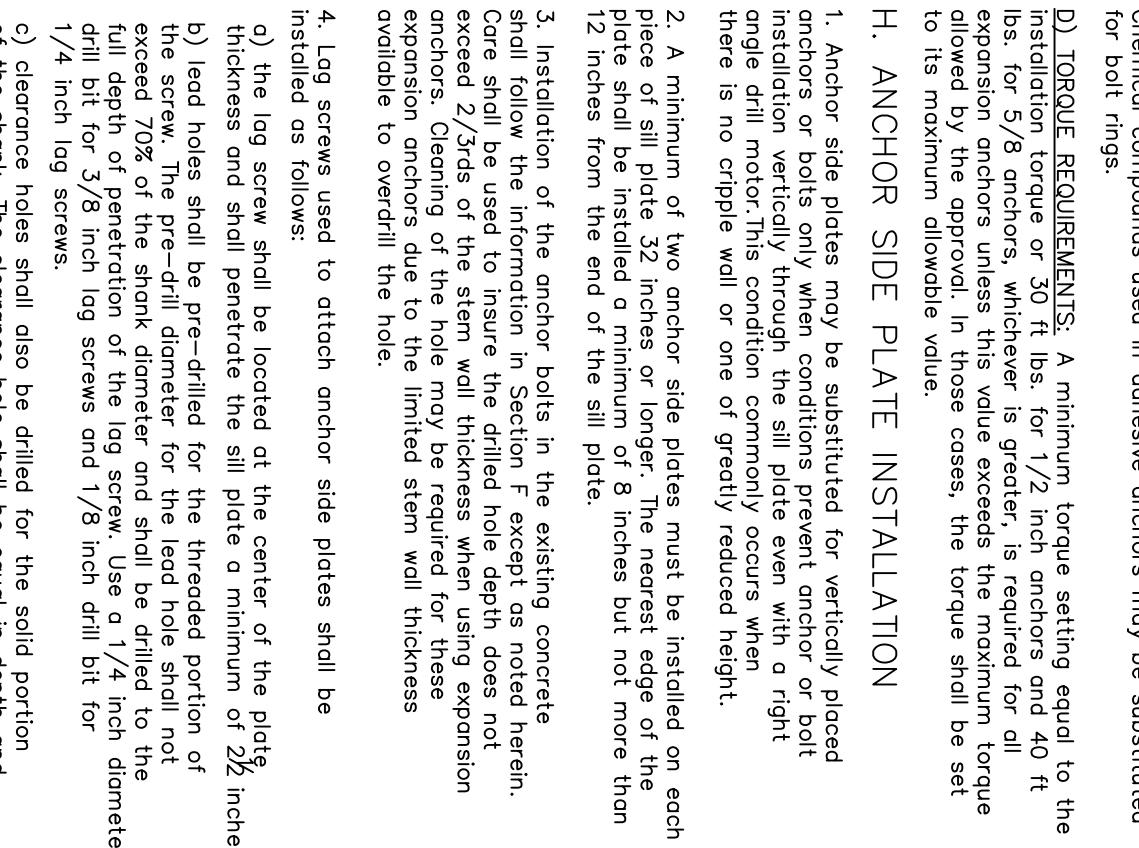
1. Damaged footings or stems will be replaced with new footings or stems. The replacement shall be in accordance with the applicable building codes. The replacement shall be in accordance with the applicable building codes. The replacement shall be in accordance with the applicable building codes. The replacement shall be in accordance with the applicable building codes.

G. ANCHOR BOLT INSTALLATION

1. **CONDITION OF EXISTING CONCRETE:** All concrete shall be fully cured and non-cracked, undisturbed and in sound condition. Concrete shall be repaired and replaced with new concrete if necessary. Concrete shall be repaired and replaced with new concrete if necessary. Concrete shall be repaired and replaced with new concrete if necessary. Concrete shall be repaired and replaced with new concrete if necessary.

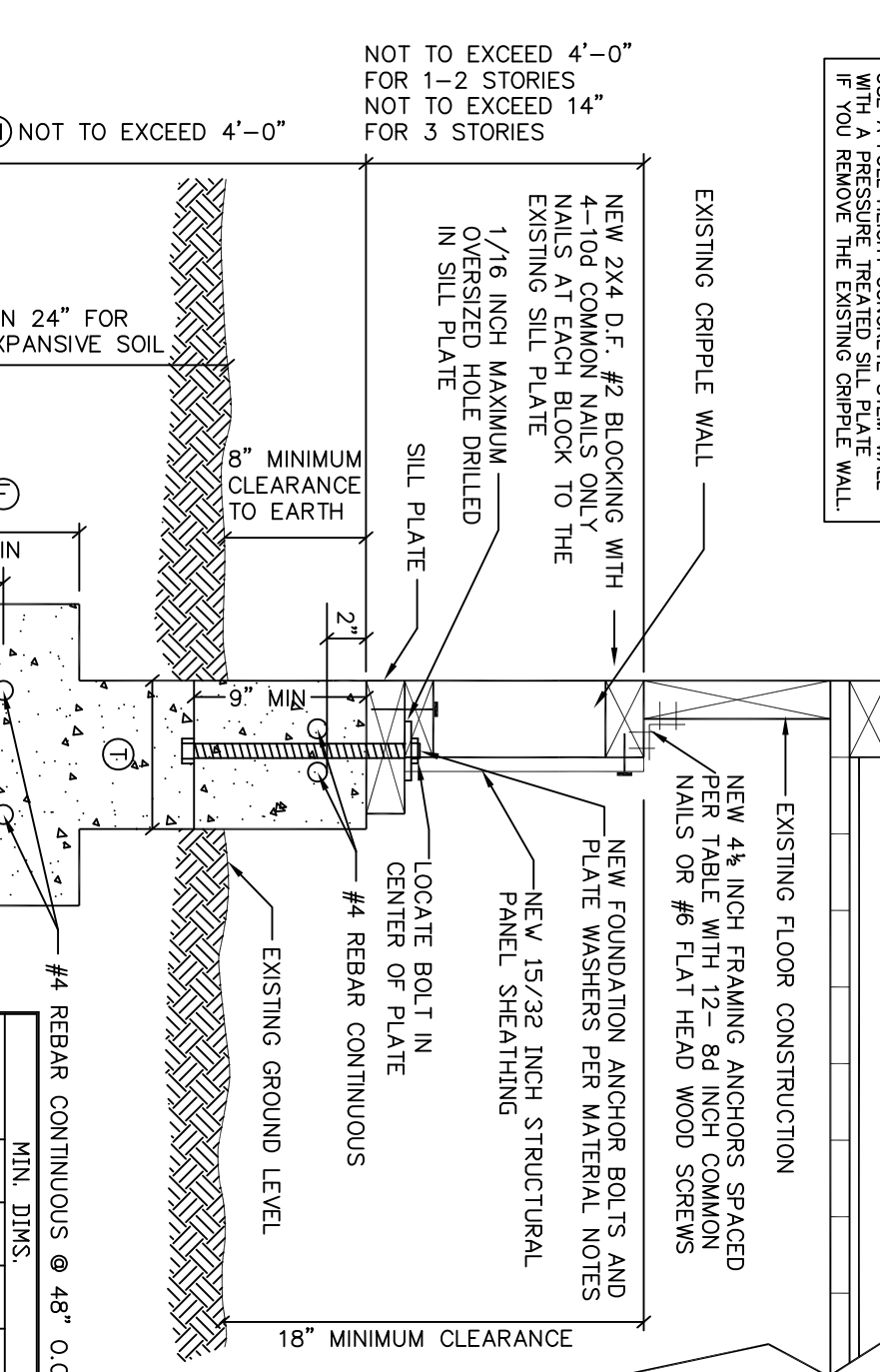


2. **CLEANING OF THE HOLE:** The hole must be cleaned with a jet of compressed air. The hole must be cleaned with a jet of compressed air. The hole must be cleaned with a jet of compressed air. The hole must be cleaned with a jet of compressed air. The hole must be cleaned with a jet of compressed air.

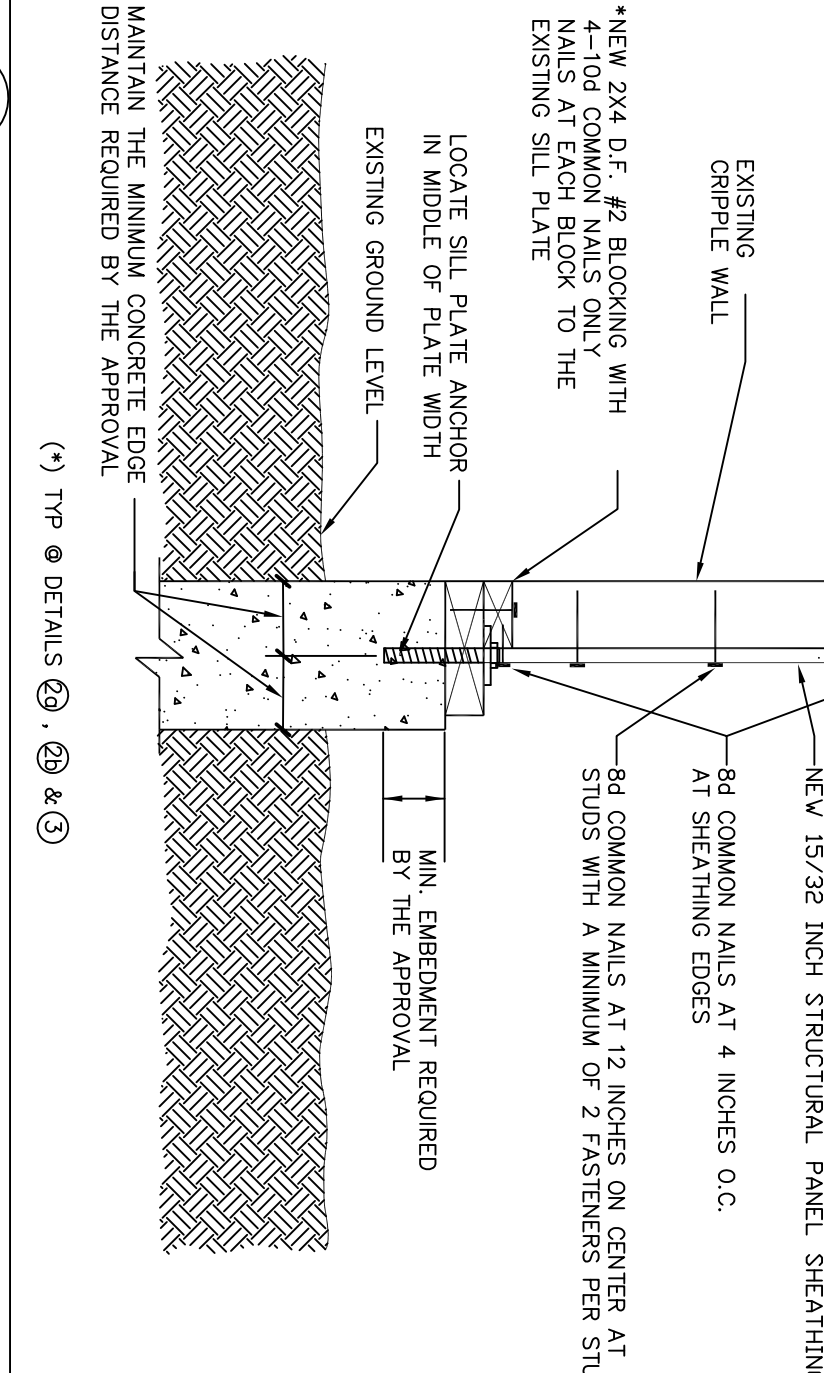


3. **INSTALLATION OF THE BOLT:** The bolt must be installed in the hole. The bolt must be installed in the hole. The bolt must be installed in the hole. The bolt must be installed in the hole. The bolt must be installed in the hole. The bolt must be installed in the hole. The bolt must be installed in the hole.

1. REPLACEMENT CONCRETE FOOTING AND STEM WALL

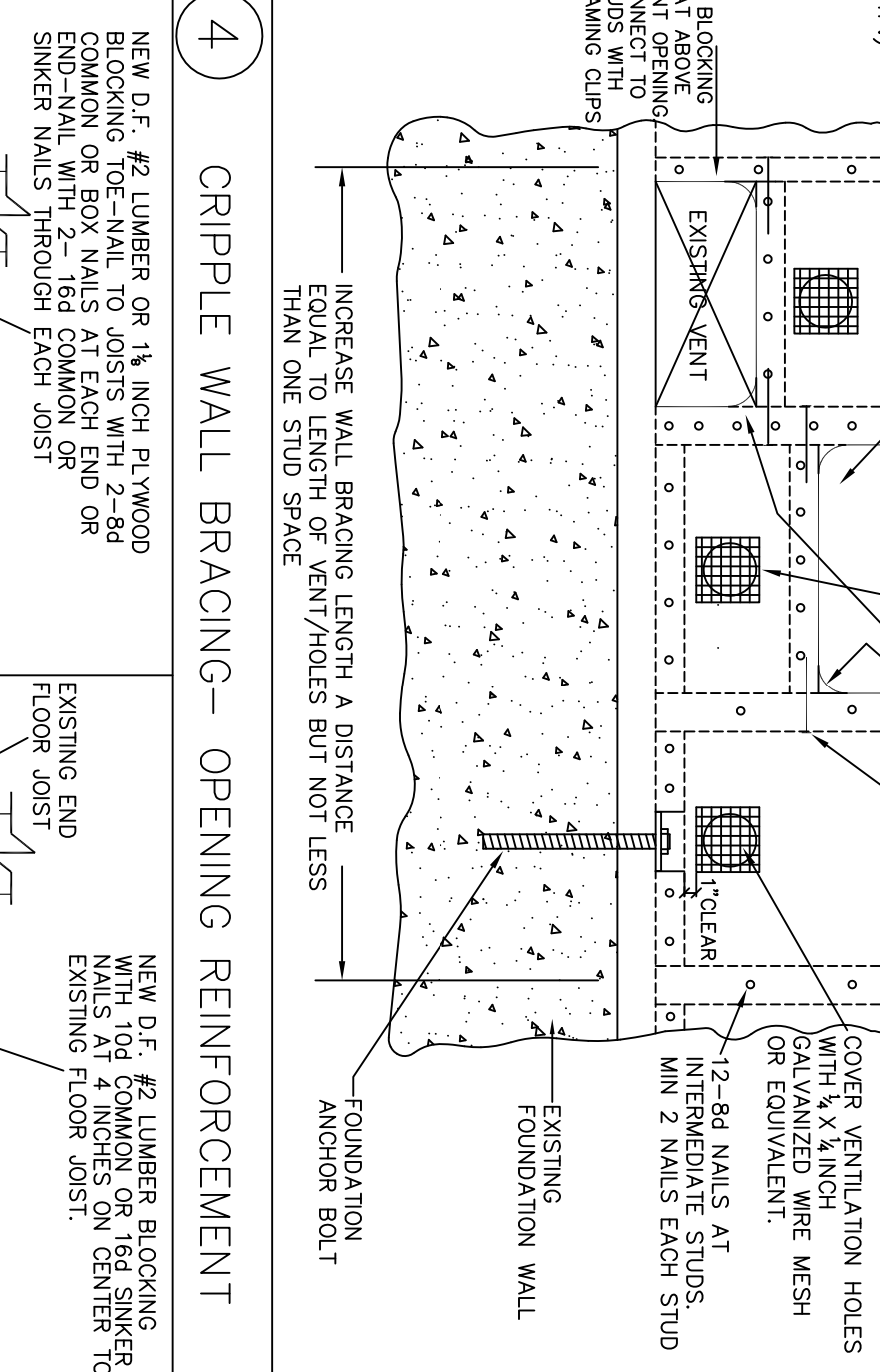


1. **REPLACEMENT CONCRETE FOOTING AND STEM WALL:** All replacement concrete shall be in accordance with the applicable building codes. All replacement concrete shall be in accordance with the applicable building codes. All replacement concrete shall be in accordance with the applicable building codes. All replacement concrete shall be in accordance with the applicable building codes.

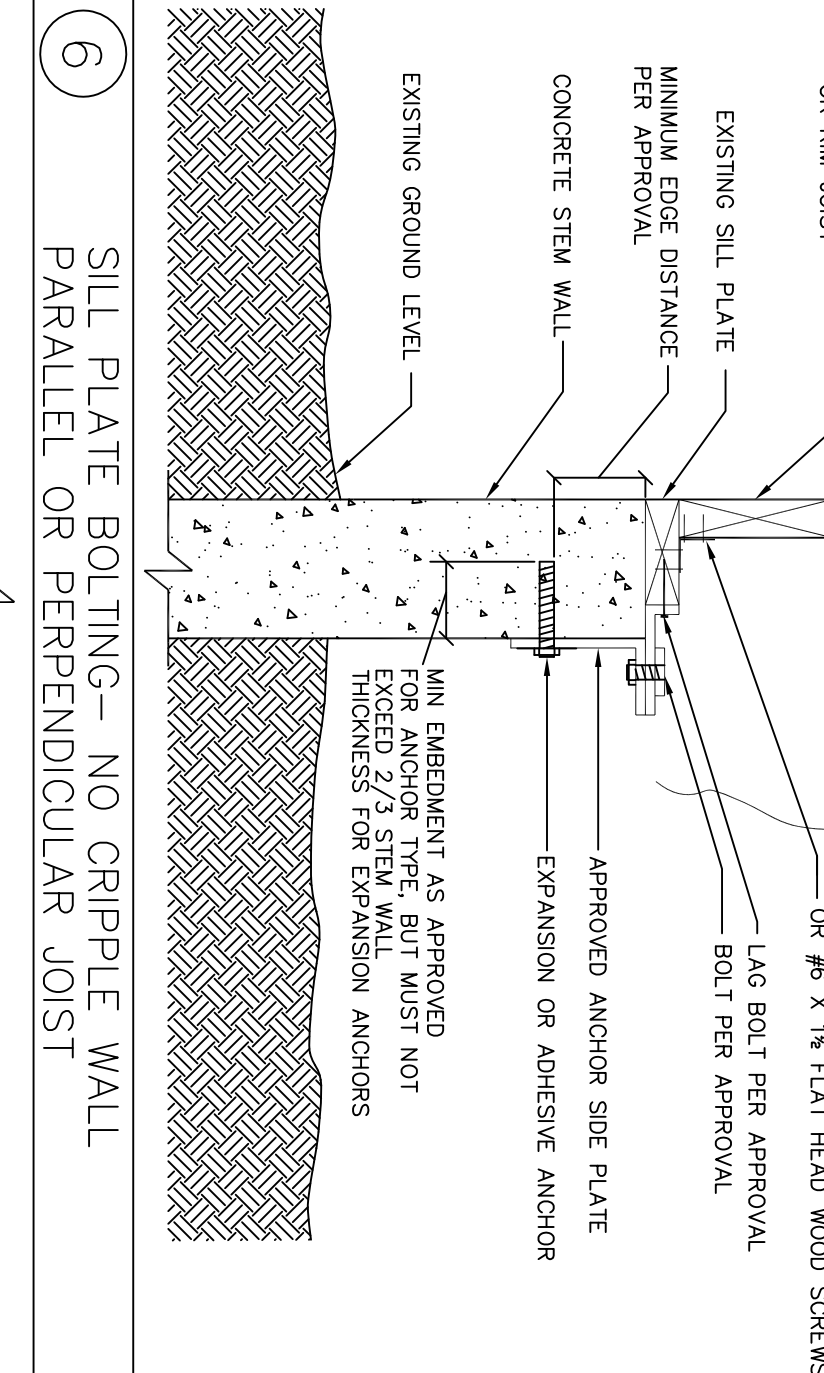


2. **REQUIREMENTS FOR EXPANSION ANCHORS:** All expansion anchors shall be in accordance with the applicable building codes. All expansion anchors shall be in accordance with the applicable building codes. All expansion anchors shall be in accordance with the applicable building codes. All expansion anchors shall be in accordance with the applicable building codes.

2a) CRIPPLE WALL SECTION - PARALLEL JOISTS

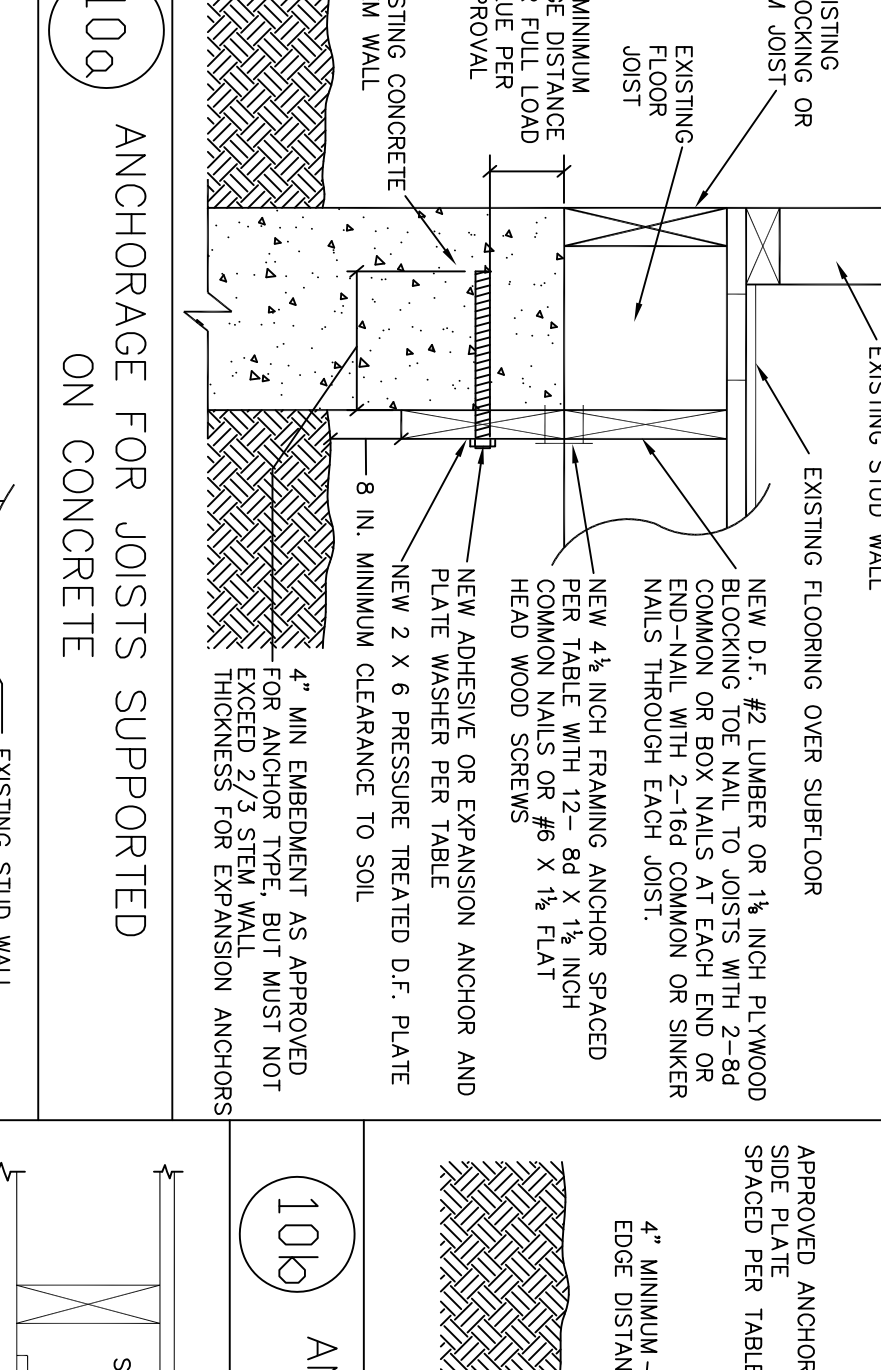


1. **CRIPPLE WALL SECTION - PARALLEL JOISTS:** All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes.

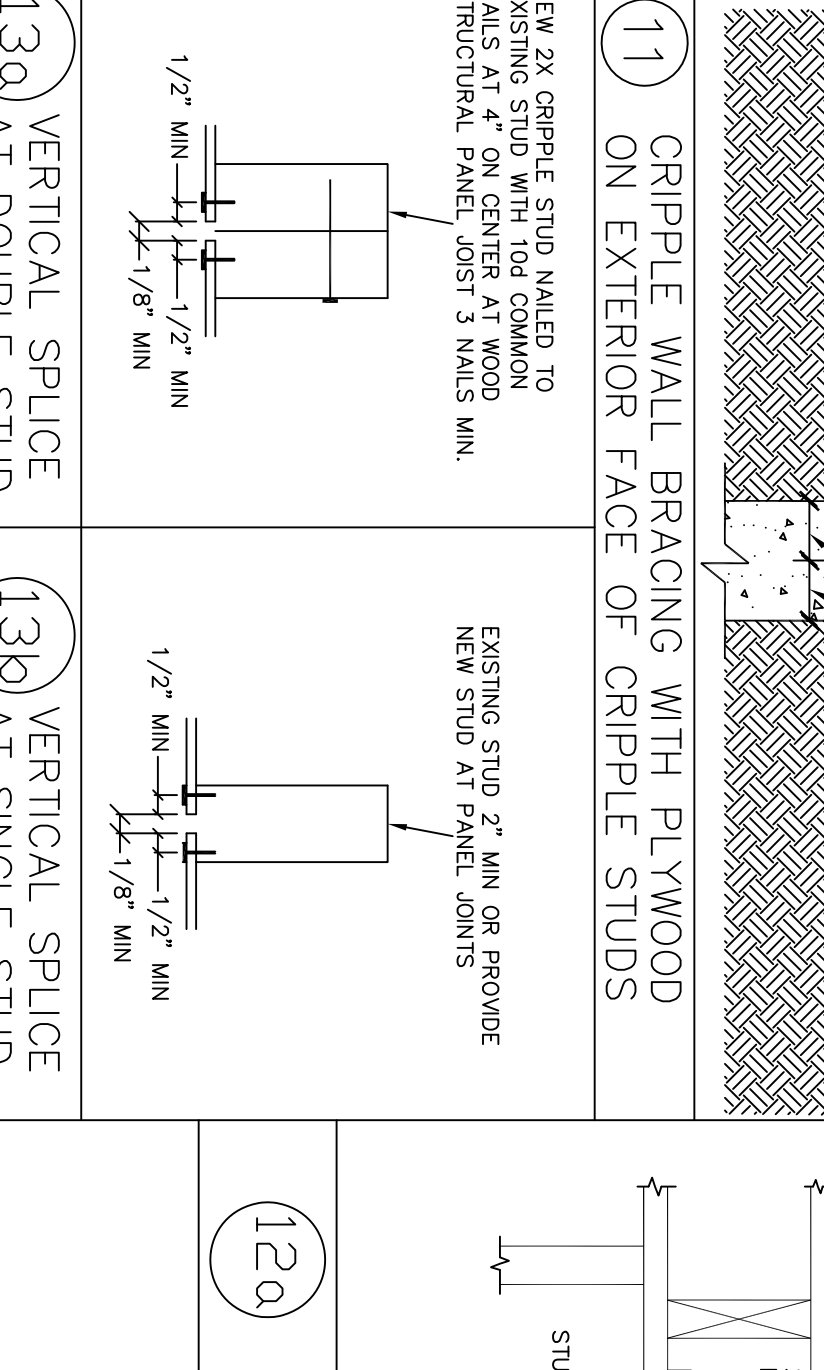


2. **REQUIREMENTS FOR BRACING:** All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes.

2b) CRIPPLE WALL SECTION - PERPENDICULAR JOISTS

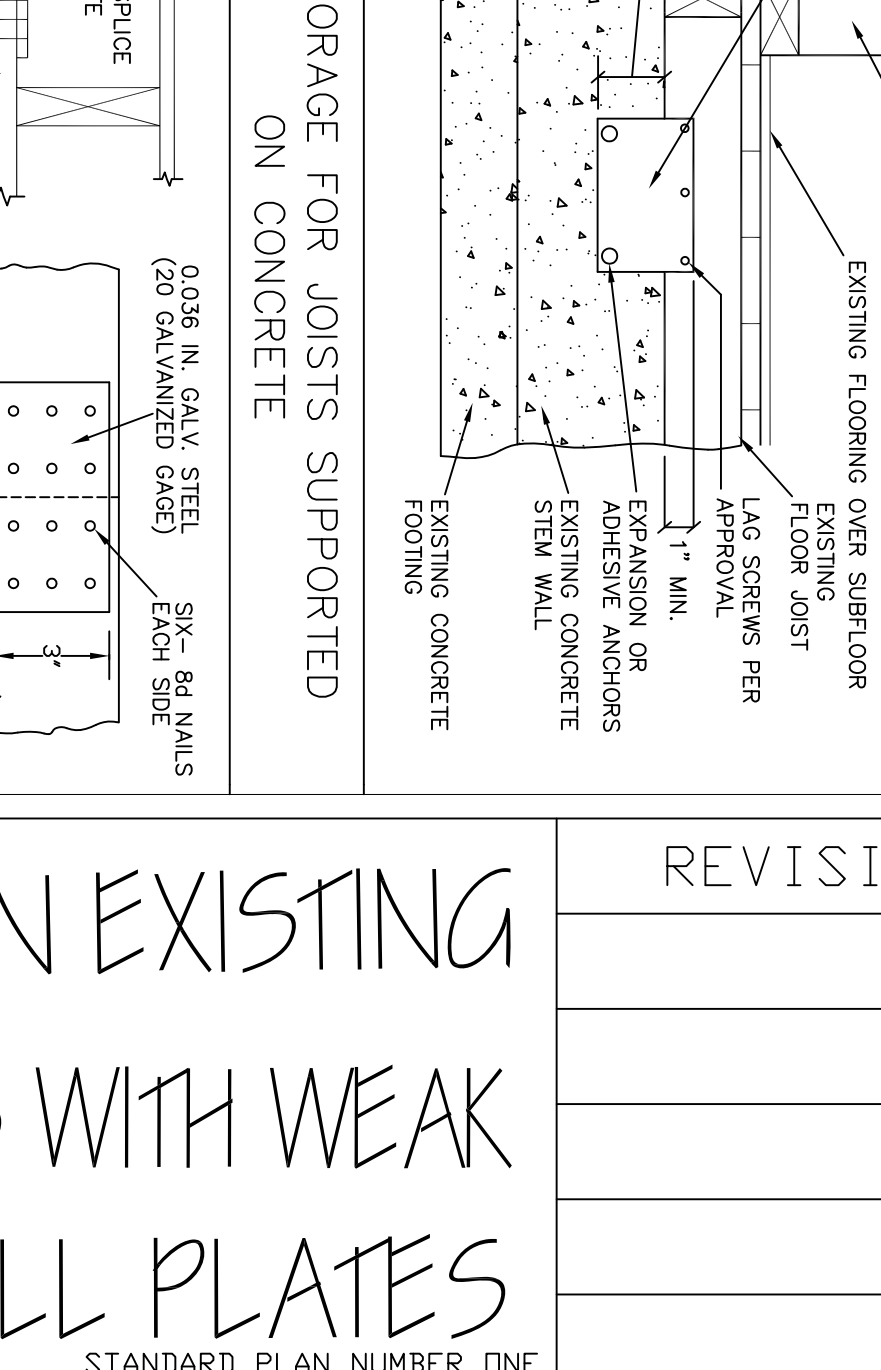


1. **CRIPPLE WALL SECTION - PERPENDICULAR JOISTS:** All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes.

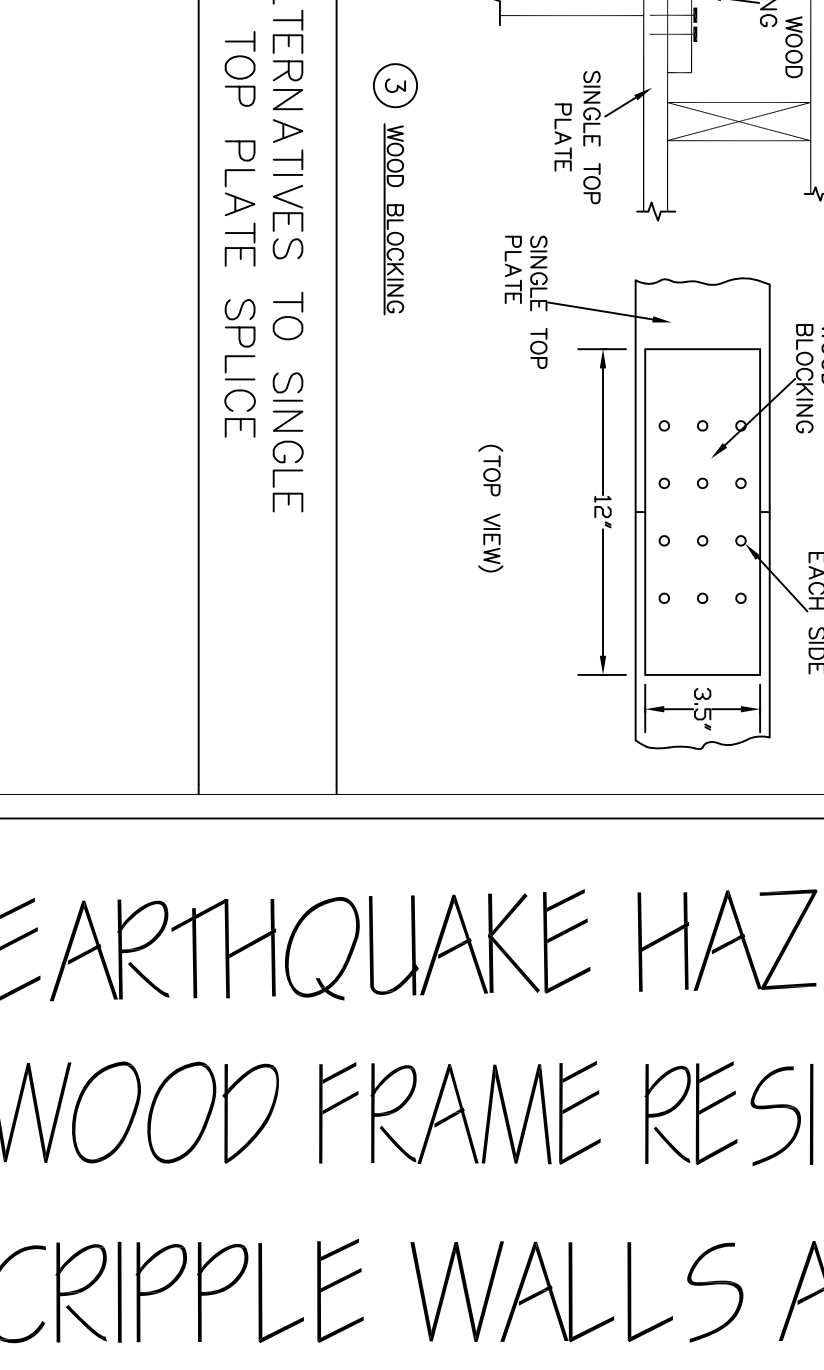


2. **REQUIREMENTS FOR BRACING:** All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes.

3) CRIPPLE WALL SECTION - INTERIOR ELEVATION



1. **CRIPPLE WALL SECTION - INTERIOR ELEVATION:** All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes.



2. **REQUIREMENTS FOR BRACING:** All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes.

3) CRIPPLE WALL SECTION - PERPENDICULAR JOISTS



1. **CRIPPLE WALL SECTION - PERPENDICULAR JOISTS:** All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes. All cripple walls shall be in accordance with the applicable building codes.



2. **REQUIREMENTS FOR BRACING:** All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes. All bracing shall be in accordance with the applicable building codes.

DEPARTMENT OF BUILDING AND SAFETY

APPROVED BY:

IFA KASHEFI, CHIEF OF THE ENGINEERING BUREAU

KEN GILL, ASSISTANT CHIEF OF THE ENGINEERING BUREAU

REVISIONS:

EARTHQUAKE HAZARD REDUCTION IN EXISTING WOOD FRAME RESIDENTIAL BUILDINGS WITH WEAK CRIPPLE WALLS AND UNBOLTED SILL PLATES

STANDARD PLAN NUMBER ONE

NOTE: THIS STANDARD PLAN DOES NOT APPLY TO THE BUILDINGS OR ELEMENTS THEREOF LISTED BELOW.